

THE PARCEL SUMMARY (INCLUDES LOT 3, BLK 1)

TOTAL PROJECT SITE AREA = 462,930.38 S.F.  
TOTAL PROJECT SITE ACREAGE = 10.63 ACRES

PARKING CALCULATIONS

PREVIOUS:		
BLDG. SQ. FT.	# OF SPACES	SPACES/1000
88,588	631	7.12
PROPOSED:		
BLDG. SQ. FT.	# OF SPACES	SPACES/1000
90,304	625	6.92

ZONING CLASSIFICATION:

PROPOSED USAGE: BUSINESS CENTER SD

FLOOR AREA CALCULATIONS

PREVIOUS =	0.1913 F.A.R.
PROPOSED =	0.1950 F.A.R.

GREENSPACE CALCULATIONS

REQUIRED =	NO CHANGE
PROPOSED =	NO CHANGE
GREENSPACE COVERAGE AREA =	NO CHANGE

DESCRIPTION

Lot 3 Block 1, Northwest Plaza Subdivision, according to the plats thereto on file at the County Recorder's office, Olmsted County, Minnesota.

SAMS CLUB PARCEL SUMMARY (LOT 2, BLK 1)

TOTAL PROJECT SITE AREA = 755,175.62 S.F.  
TOTAL PROJECT SITE ACREAGE = 17.34 ACRES

PARKING CALCULATIONS

PREVIOUS:		
BLDG. SQ. FT.	# OF SPACES	SPACES/1000
138,870	867	6.24

PROPOSED:		
BLDG. SQ. FT.	# OF SPACES	SPACES/1000
NO CHANGE	861	6.20

ZONING CLASSIFICATION: BUSINESS CENTER SD  
PROPOSED USAGE: BUSINESS CENTER

FLOOR AREA CALCULATIONS

PREVIOUS =	NO CHANGE F.A.R.
PROPOSED =	NO CHANGE F.A.R.

GREENSPACE CALCULATIONS

REQUIRED =	NO CHANGE
PROPOSED =	NO CHANGE
GREENSPACE COVERAGE AREA =	NO CHANGE

DESCRIPTION

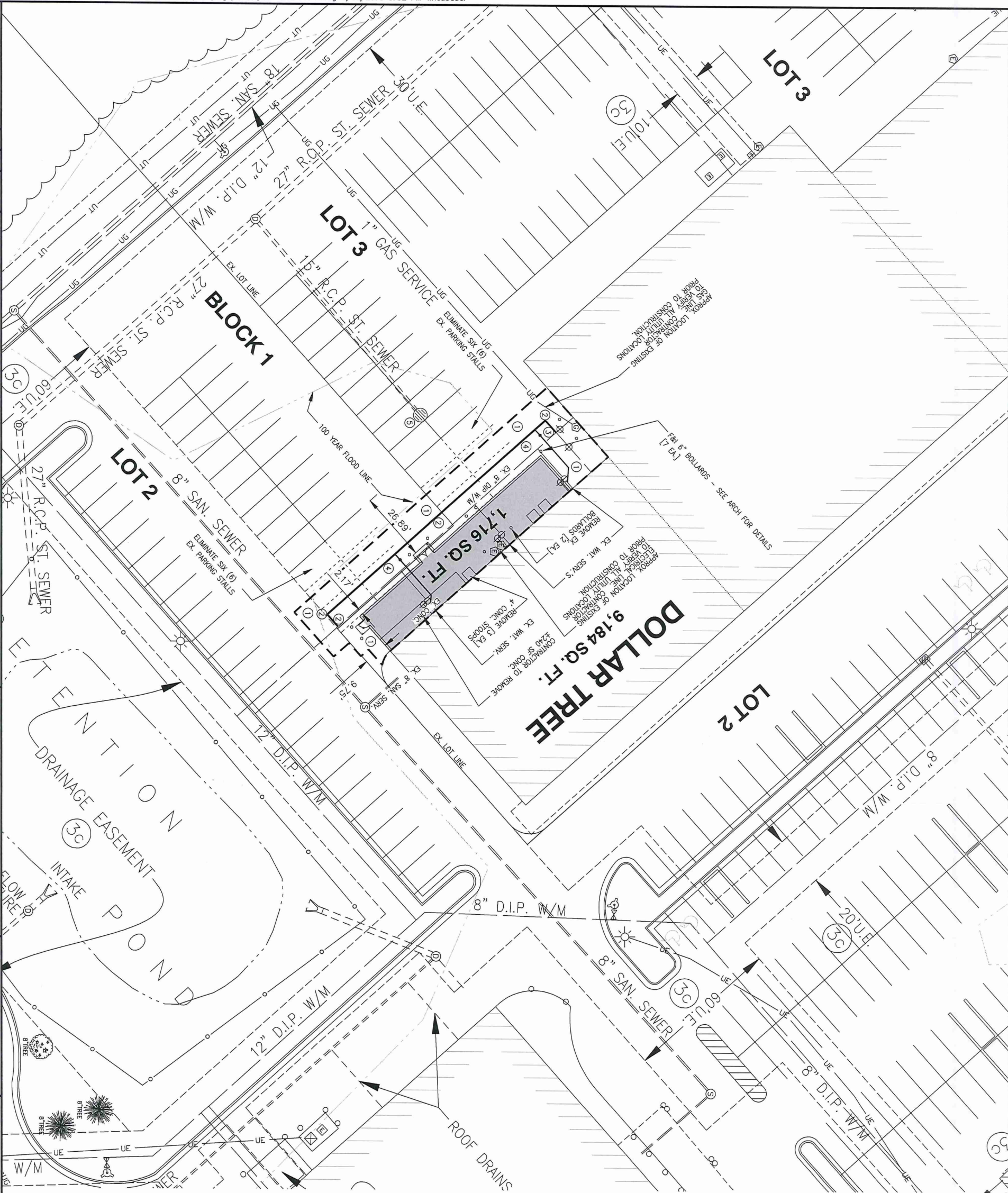
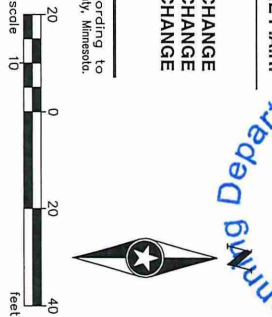
Lot 2 Block 1, Northwest Plaza Subdivision, according to the plats thereto on file at the County Recorder's office, Olmsted County, Minnesota.

CONSTRUCTION NOTES:

- CONTRACTOR TO SAWCUT AND REMOVE EXISTING BITUMINOUS OUT TO THE DISTURBED AREA LIMITS. UPON COMPLETION OF WATER MAIN & SERVICES INSTALLATION AND BUILDING FOOTINGS, CONTRACTOR TO FILL/PREPARE/COMPACT SUBGRADE TO 100% PROCTOR. F&I AGGREGATE BASE CL. 2 (MATCH-IN-KIND THICKNESS), AND F&I BITUMINOUS PATCHING (MATCH-IN-KIND THICKNESS). SLOPE AWAY FROM BUILDING AT 1.0% MINIMUM (2.0% MINIMUM NEAR DOORWAYS).
- CONNECT TO [1' EA.] EX. 8" DIP WATER MAIN. F&I 3 EA. 8"x90" DIP BENDS AND ±128 LF 8" DIP WATER MAIN.
- CONNECT TO [2' EA.] EX. 8" DIP WATER MAINS. F&I 8"x8" DIP TEE.
- CONNECT TO AND RE-ROUTE [2' EA.] EX. 1" COPPER WATER SERVICES & CONNECT TO NEW 8" DIP WATER MAIN. F&I 2 EA. WATER SHUT-OFF VALVES AND 2 EA. 1" CORPS.
- EX. AREA IN-TAKE STYLE CATCH BASIN. F&I INLET PROTECTION PER CITY OF ROCHESTER DETAIL PLATE 7-05.

ALL CONSTRUCTION TO BE PER CITY OF ROCHESTER STANDARD DETAILS AND SPECIFICATIONS.  
SEE WEBSITE : <http://www.rochestermn.gov/departments/public-works/specifications-standards>

PROPOSED BUILDING ADDITION (1,716 SF)  
DISTURBED AREA (4,683 SF OR 0.11 AC)



DRAWN BY:	WN		
DESIGNER:	WN		
CHECKED BY:	BA		
DESIGN TEAM			
NO.	BY	DATE	REVISIONS

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
Date: 3-14-18  
William S. Anderson  
Lic. No. 15092

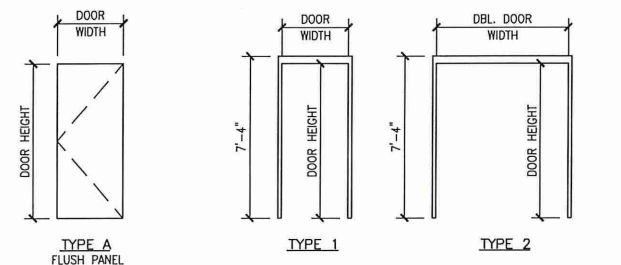
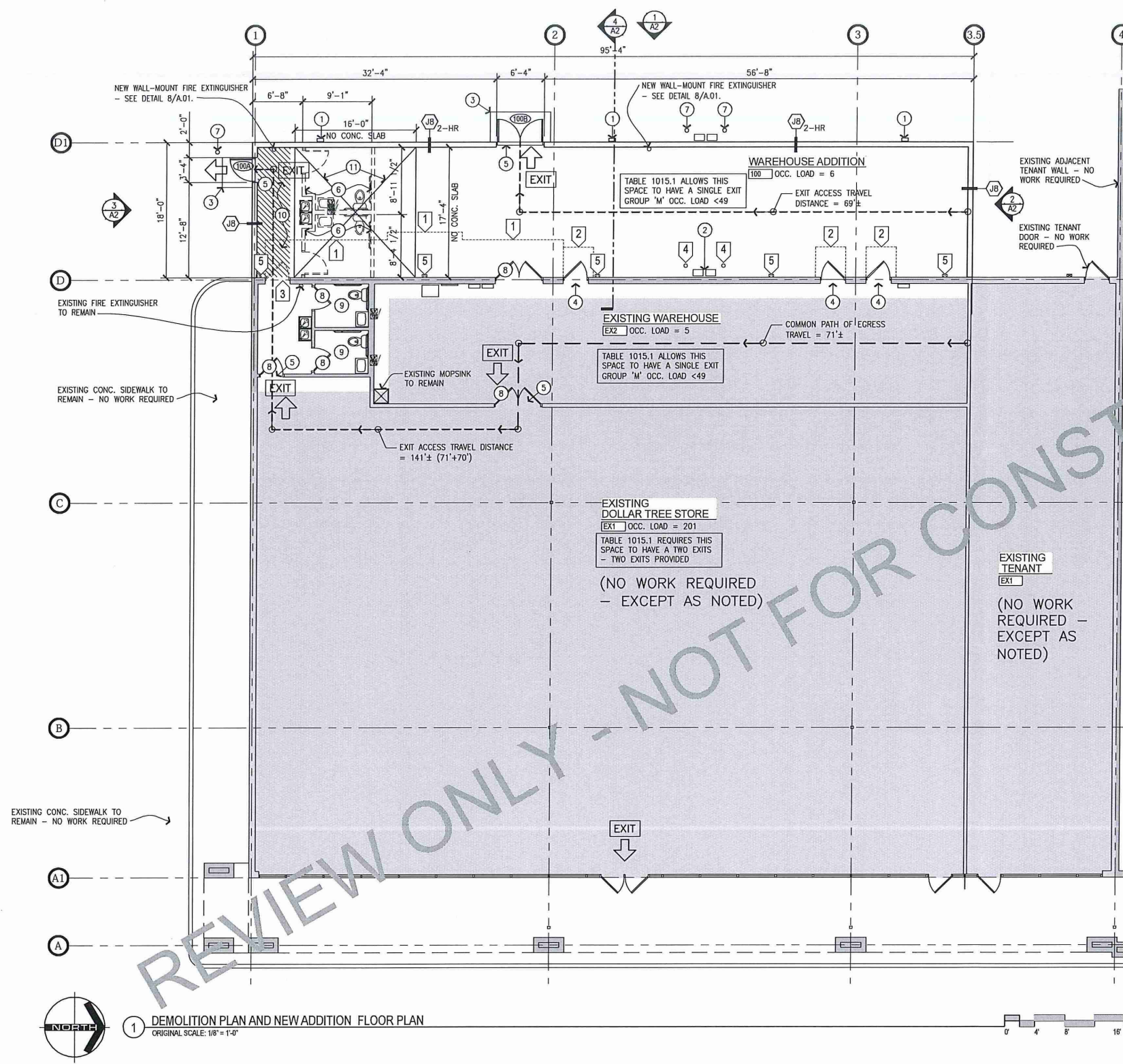
**SEH**  
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ROCHESTER, MINNESOTA	DOLLAR TREE ADDITION - NW PLAZA SITE PLAN	FILE NO. 145486	C1.0 1
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Considers Ref: P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawing Sheets\18-011 2nd floor plan  
Considers Ref: P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawing Sheets\18-011 2nd Door-Frame-Types  
Considers Ref: P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawing Sheets\18-011 2nd wall type

Scott Deliquist P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawing Sheets\18-011 2nd floor plan Wednesday, March 14, 2018 8:31:00 AM



2 DOOR AND FRAME TYPES  
ORIGINAL SCALE: 1/4" = 1'-0"

DOOR SCHEDULE																					
DOOR NUMBER	ROOM NAME	DOOR					FRAME			HARDWARE	MISC.				NOTES & REMARKS						
		SIZE			MATERIAL	TYPE	GLASS	MATERIAL	TYPE		GLASS SIDELITE	"S" LABEL DOOR	FIRE LABEL DOOR & FRAME	GROUP		KEY	INSUL. DOOR	THRESHOLD	WSTRIPPING	2 DR. 1 FR.	O'HEAD DR.
		WIDTH	HEIGHT	THICKNESS																	
100A	EXIT	3'-0"	7'-0"	1-3/4"	HM	A	-	HM	1	-	-	-	01	-	●	●	●			NOTE 1.	
100B	WAREHOUSE	6'-0"	7'-0"	1-3/4"	HM	A	-	HM	2	-	-	90 M.	02	-	●	●	●	●		NOTE 1.	

DOOR FRAME KEY:  
ALUM. = ALUMINUM ENTRANCE  
H.M. = HOLLOW METAL

FIRE LABEL KEY:  
90 M. = 1-1/2 HOUR LABELED DOOR  
45 M. = 3/4 HOUR LABELED DOOR  
30 M. = 1/2 HOUR LABELED DOOR

NOTES:  
1. CONSTRUCTION MANAGER TO VERIFY KEYING REQUIREMENTS WITH OWNER.

2-HOUR RATED WALL TYPE:

GENERIC DESIGN

TYPICAL CMU WALLS

FIRE RATING/TEST: (WHERE APPLICABLE)  
TWO HOUR RATING - BEARING WALL  
TWO HOUR RATING - NON-BEARING WALL  
UL DESIGN NO. U905

8" NOMINAL CMU W/ CLASSIFICATION D-2 (2 HOUR) OR CMU W/ ALL CORE SPACES FILLED W/ WATER-REPELLANT VERMICULITE LOOSE FILL INSULATION

STC SOUND RATING/TEST:  
STC: 52 ~ NORMAL WT. BLOCK, UNGROUTED  
KAL 933-1-70

WALL TYPE	
J6	6" NOMINAL STANDARD WEIGHT CONCRETE BLOCK WALL
J8	8" NOMINAL STANDARD WEIGHT CONCRETE BLOCK WALL
J12	12" NOMINAL STANDARD WEIGHT CONCRETE BLOCK WALL

- GENERAL NOTES:
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL REQUIREMENTS OF THE OWNER. EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROCEDURES, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THEIR WORK.
  - THE GENERAL CONTRACTOR SHALL FILE FOR AND OBTAIN ALL REQUIRED PERMITS, LETTERS OF SATISFACTORY COMPLETION AND CERTIFICATES OF OCCUPANCY FROM THE LOCAL BUILDING OFFICIALS.
  - ALL EQUIPMENT SHOWN AS DASHED IS BY THE OWNER. ELECTRICAL CONTRACTOR TO VERIFY POWER REQUIREMENTS FOR OWNER'S EQUIPMENT. MECHANICAL CONTRACTOR TO VERIFY PLUMBING AND HVAC REQUIREMENTS OF OWNER'S EQUIP.
  - REFER TO THE MECHANICAL, ELECTRICAL DRAWINGS FOR ADDITIONAL WORK REQUIRED UNDER THIS CONTRACT.
  - THE GENERAL CONTRACTOR AND/OR MECHANICAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL WORK WITH THE OWNER'S REPRESENTATIVE AND ALL OTHER TRADES.
  - THE GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK WITH THE OWNER'S REPRESENTATIVE AND ALL OTHER TRADES.
  - REFER TO THE STRUCTURAL DESIGN SHEETS FOR DETAILED INFORMATION ON THE STRUCTURAL DESIGN OF BUILDING. THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ANY STRUCTURAL INFORMATION NOTED ON THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN ARCHITECTURAL & STRUCTURAL.

- PLAN NOTES:
- THRU-WALL SCUPPER AND PREFINISHED OPEN DOWNSPOUT (MATCH EXISTING) AND CONC. SPLASHBLOCK
  - APPROX. EXISTING ELECTRICAL SERVICE LOCATION - RELOCATED TO NEW EXTERIOR WALL LOCATION - VERIFY W/ ELECTRICAL PLANS
  - CONC. STOOP W/ FROST FOOTING - SEE STRUCT.
  - EXISTING WALLED-OFF DOOR & FRAME TO REMAIN - NO WORK REQ'D
  - EXIT SIGN - ABOVE DOOR SEE ELEC.
  - LINE OF FUTURE RESTROOM WALL CONSTRUCTION - MECH. G.C. TO PROVIDE WATER & SANITARY SEWER STUB-INS FOR FUTURE CONNECTIONS - VERIFY W/ MECH. DRAWINGS
  - NEW OR RELOCATED STEEL PROTECTION BOLLARDS - SEE 8/A2
  - EXISTING DOOR & FRAME TO REMAIN
  - EXISTING RESTROOMS TO REMAIN - NO WORK REQUIRED
  - THE FLOOR SHALL BE STRIPED IN THIS LOCATION FOR UNOBSTRUCTED EGRESS EXISTING UNTIL FUTURE RESTROOM WALLS ARE BUILT AND THUS CREATE AN EXIT CORRIDOR - EXIT AISLE MIN. 44" IN WIDTH
  - 16'-0" WIDE X DEPTH OF ADDITION: NO CONC. SLAB POURED IN THIS AREA TO ALLOW FOR UTILITY STUB-IN AND TOILET/ SINK PLUMBING INSTALLATION LOCATED AS PART OF TENANT'S FINAL PLANS.

- HARDWARE GROUPS:
- Group 01: SINGLE EXIT - ENTRANCE PANIC FUNCTION/LATCH  
Each door (min. 18 gauge material) shall have:  
• Hinges - 3 pair (4 1/2" Heavyweight, non-removable pins)  
• One Exit Device, Rim L x 992L-R  
• Function: Inside always by touchbar. Outside by lever except when lever is locked by inside or outside key then outside lever by key and lever.  
• Aluminum Threshold (max. 1/2" high)  
• Door Sweep  
• One Closer  
• One Kick Plate  
• Rain Drip
- Group 02: PAIR EXIT / ENTRANCE PANIC FUNCTION  
Each leaf (min. 18 gauge material) shall have:  
• Hinges - 3 pair (4 1/2" Heavyweight, non-removable pins)  
• Exit Devices (2 required)  
• Right Door: 1 Concealed Vertical Rod DT x 697DT  
• Function: Inside always by touchbar. Outside by pull only when panic dogged down, then push-pull operation.  
• Left Door: 1 Concealed Vertical Rod NL x 697NL  
• Function: Inside always by touchbar. Outside by key. When panic is dogged down, then outside by pull for push-pull operation.  
• Aluminum Threshold (max. 1/2" high)  
• Door Sweep  
• One Closer  
• One Kick Plate  
• Rain Drip

- GENERAL DEMOLITION NOTES:
- NO WORK IN SHADED AREAS. U.N.O.
  - DASHED LINES REPRESENT EXISTING ITEMS TO BE REMOVED.
  - PROVIDE ALL WORK TO COMPLETE DEMOLITION AS MAY BE REQUIRED TO ACCOMPLISH WORK AS SHOWN ON THE DRAWINGS UNLESS NOTED OTHERWISE. ALL AS INDICATED OR REQUIRED RELATING TO THE EXISTING BUILDING AND NOT OTHERWISE ASSIGNED IS INCLUDED UNDER THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR TO VERIFY EXISTING ELECTRICAL & PLUMBING LOCATIONS PRIOR TO DEMOLITION. EXISTING PLUMBING AND ELECTRICAL MAY REQUIRE MODIFICATION TO ACCOMPLISH THE NEW DESIGN AS SHOWN ON THESE PLANS.
  - MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS SHALL TERMINATE ALL APPROPRIATE SERVICES TO EXISTING CONSTRUCTION WHICH ARE TO BE PERMANENTLY DISCONNECTED. THEY SHALL FURTHER MAKE ALL TEMPORARY SERVICE TERMINATIONS INDICATED OR REQUIRED TO ACCOMPLISH THE DEMOLITION AND/OR NEW REVISED OR REPLACED SERVICES AS PART OF WORK UNDER ALL CONTRACTS. ALL PERMANENT TERMINATIONS SHALL BE REMOVED BACK TO THE SOURCE. NO VACANT SERVICES SHALL BE LEFT IN PLACE.
  - CONTRACTORS ARE TO BE RESPONSIBLE FOR REMOVING AND HAULING OF ALL DEMOLITION DEBRIS.
  - AT CONCLUSION OF DEMOLITION, ALL SURFACES SHALL BE READY TO RECEIVE NEW FINISHES.
  - SEE SEPARATE MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS.
  - SEE SEPARATE SITE WORK DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS.

- DEMOLITION NOTES:
- REMOVE EXISTING CONC. SLAB & FOOTINGS TO EXTENT REQUIRED FOR NEW CONSTRUCTION - VERIFY PRIOR TO REMOVAL. DISPOSE OF PROPERLY
  - REMOVE EXISTING CONC. STOOP & FOOTINGS TO EXTENT REQUIRED FOR NEW CONSTRUCTION - VERIFY PRIOR TO REMOVAL. DISPOSE OF PROPERLY
  - REMOVE EXISTING H.M. DOOR & FRAME IN ITS ENTIRETY AND DISPOSE OF PROPERLY
  - REMOVE EXISTING STEEL PROTECTION BOLLARDS AND REUSE IN NEW LOCATION
  - REMOVE EXISTING DOWNSPOUTS AND GUTTER AT LOCATION OF NEW ROOF.

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CHRISTOPHER W. COLBY  
11883 03-29-2018  
NUMBER DATE

DOLLAR TREE ADDITION - NW PLAZA  
ROCHESTER, MINNESOTA

PROJECT NUMBER 18-011  
DATE 03-29-2018  
DRAWN BY SWD  
CHECKED BY CWC  
ISSUE / REVISION HISTORY

DEMOLITION PLAN AND NEW ADDITION FLOOR PLAN  
SHEET NUMBER

A1  
OF SHEETS

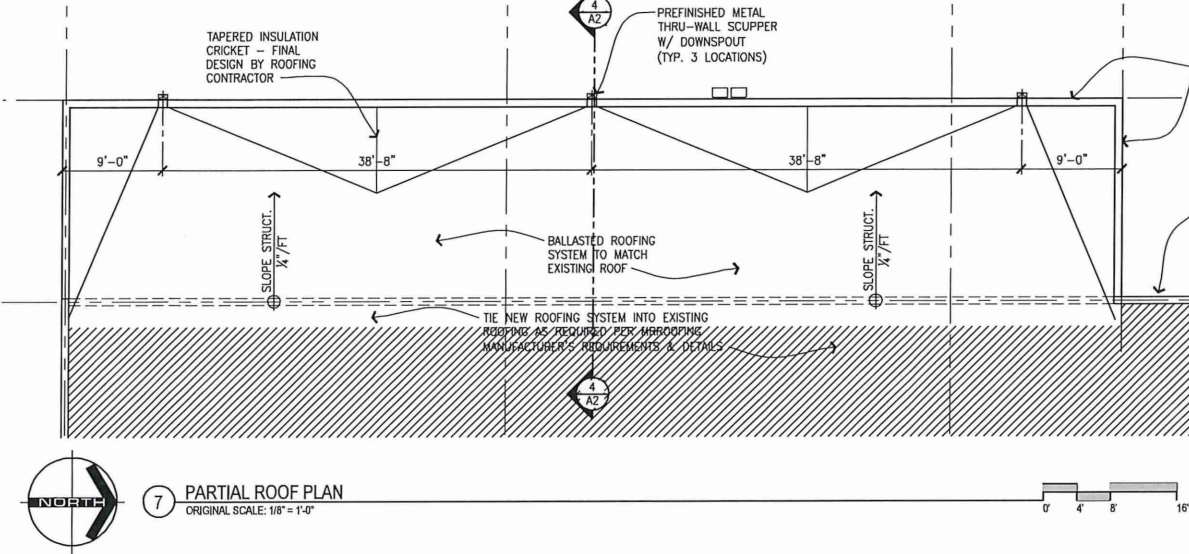
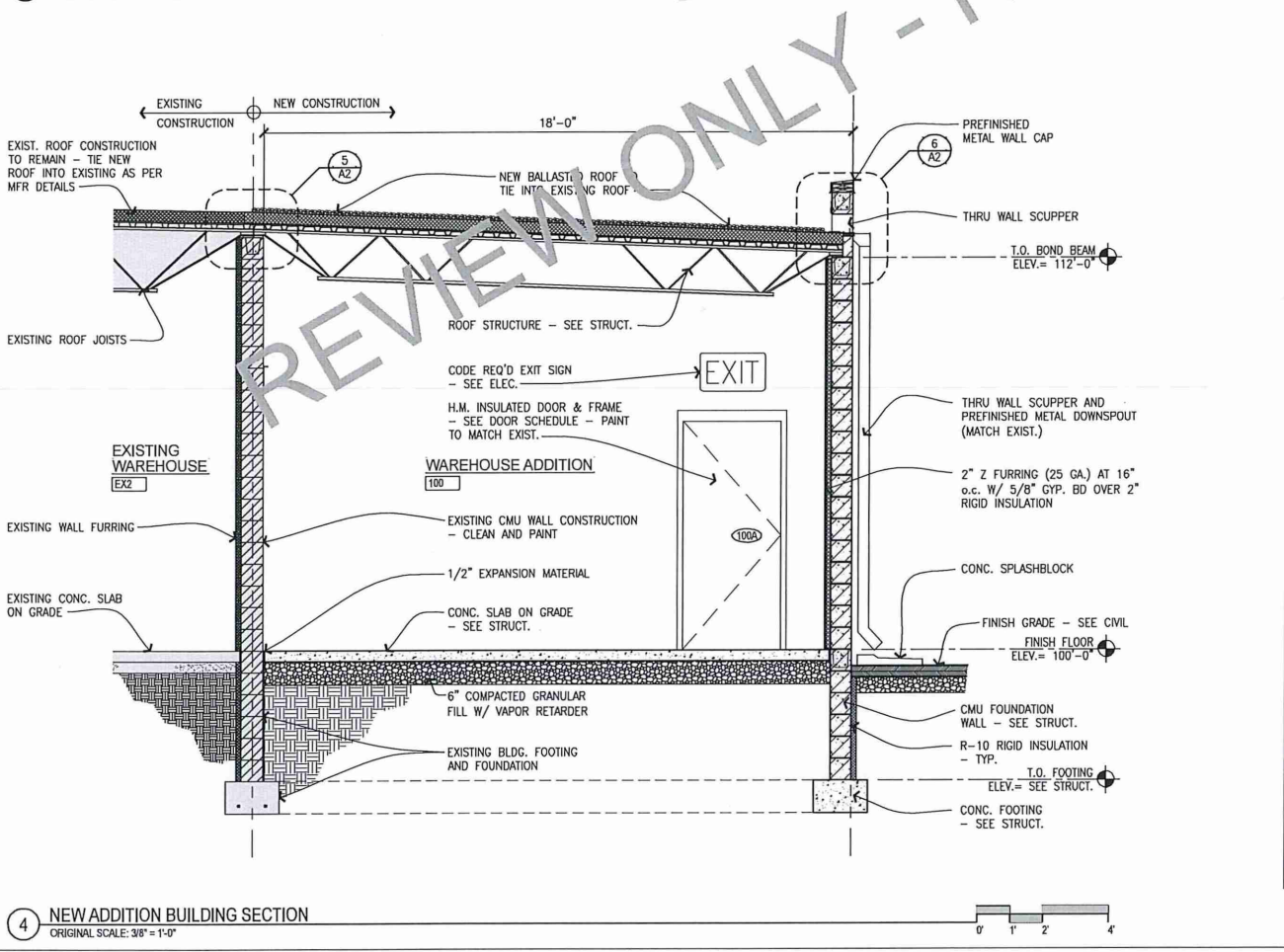
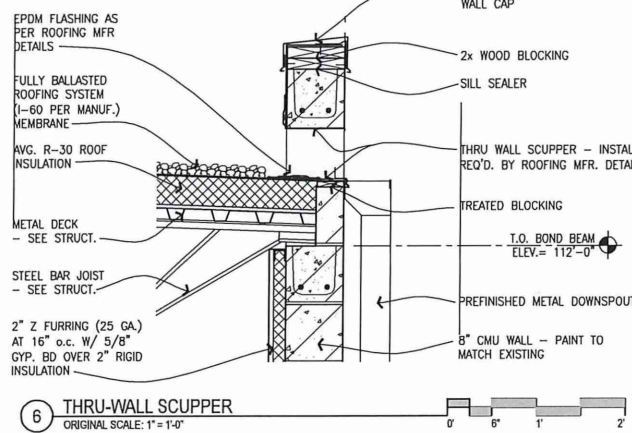
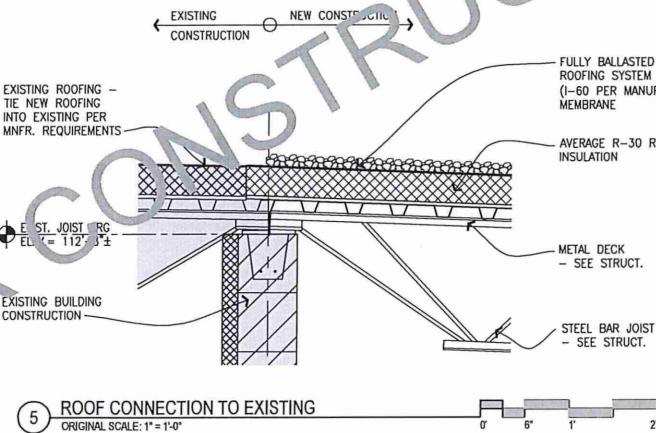
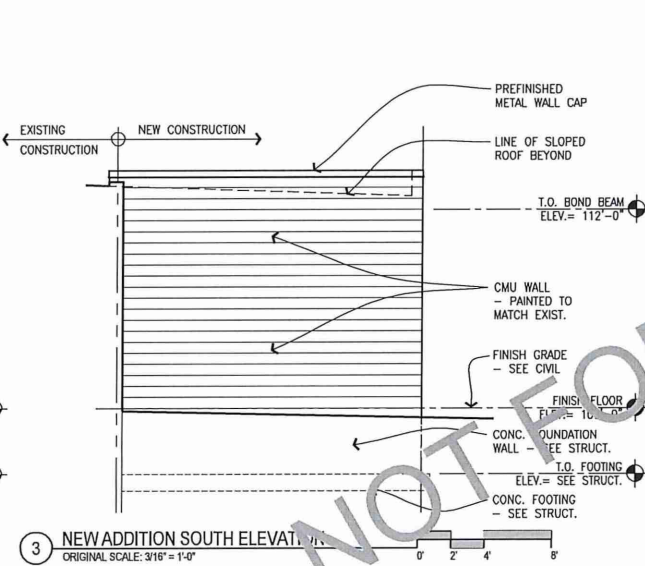
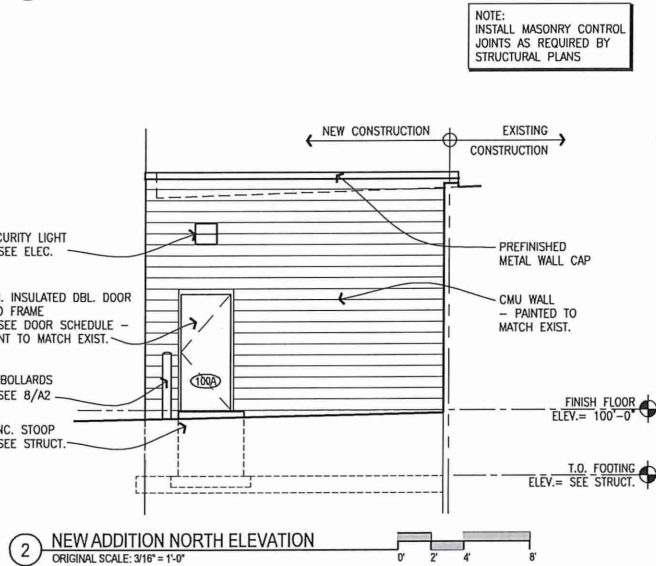
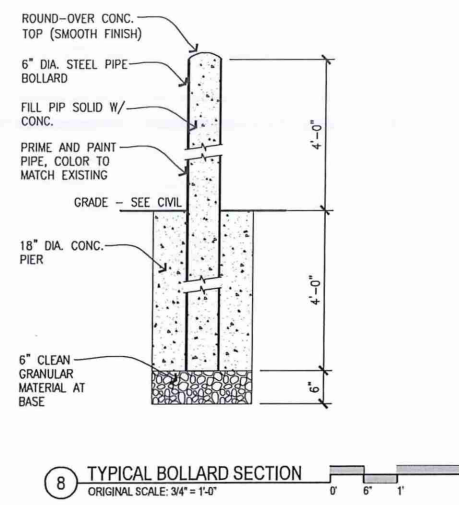
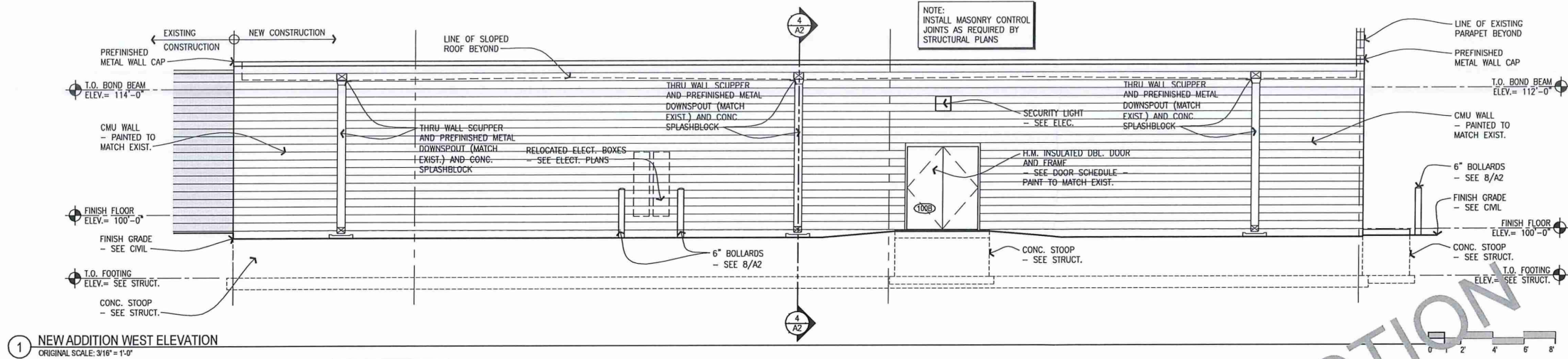
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Rochester Olmsted Planning Department

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Condition: Xref: P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawings\Sheet\18-011 and floor plan

Scott Delquist P:\2018\18-011 Dollar Tree Addition NW Plaza\CAD\Drawings\Sheet\18-011 and elevations sections AND ROOF PLAN Wednesday, March 14, 2018 8:30:35 AM



- ROOF DEMOLITION NOTES:**
1. REMOVE EXISTING ROOF BALLAST AS REQUIRED FOR INSTALLATION OF ROOF ON NEW ADDITION. REMOVED BALLAST TO BE STOCKPILED AT LOCATION DESIGNATED BY OWNER FOR REUSE BY OWNER AS DESIRED.
  2. EXCEPT WHERE NOTED ON PLAN REMOVE EXISTING ROOF MEMBRANE, RIGID INSULATION (DOWN TO EXISTING CONCRETE ROOF DECK) AND FASTENERS IN THEIR ENTIRETY AS REQUIRED FOR INSTALLATION OF ROOFING ON NEW ADDITION
  3. REMOVE EXISTING METAL ROOF EDGING IN ITS ENTIRETY AND ANY DAMAGED OR UNUSABLE EDGE BLOCKING AND DISPOSE OF PROPERLY.
  4. REMOVE EXISTING DOWNSPOUTS IN AREA OF NEW ADDITION CONSTRUCTION

**ROOF PLAN NOTE:**

THIS ROOF PLAN IS FOR REFERENCE ONLY - FINAL ROOF DESIGN TO BE BY ROOFING SUPPLIER AND TO BE INSTALLED ACCORDING AS PER MANUFACTURER'S WARRANTY REQUIREMENTS. ALL FLASHING AND ROOF PENETRATIONS AS PER MANUFACTURER'S DETAILS.



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CHRISTOPHER W. GOLBY  
11883 03-29-2018  
NUMBER DATE

**DOLLAR TREE ADDITION  
- NW PLAZA  
ROCHESTER, MINNESOTA**

PROJECT NUMBER	18-011
DATE	03-29-2018
DRAWN BY	SWD
CHECKED BY	CWC
ISSUE / REVISION HISTORY	

ADDITION EXTERIOR  
ELEVATIONS  
BUILDING SECTIONS  
AND ROOF PLAN